



MANUFACTURED HOME INSTALLATION CHECKLIST

The following information will need to be gathered prior to applying online for preliminary binding site plan:

1. Applicant Information-name and contact information (phone and email)
2. Site Information including all site addresses and the assessor's tax parcel numbers of all parcels involved.
3. Name of project, if applicable.
4. The source of water supply and, if a public system is used, the name of the supplier.
5. The method of sewage disposal and, if sanitary sewer is used, the name of the district having management over the system.
6. Identification of any critical areas (Stream, wetlands, landslide hazard, wellhead protection and important habitat and species areas, see OMC 18.32) on or near the site. It is recommended that you contact the Planning Department to determine if any critical area reports may be required.
7. If any wells are located within 200 feet of the project site. (Contact Thurston County Environmental Health for information regarding wells)
8. If any on-site sewer systems (septic) systems (tanks, transport lines and drainfields) are located on the project site. (Contact Thurston County Environmental Health for septic system records)
9. If there are any easements or tracts.
10. Setbacks to property lines from building walls
11. Building footprint with roof overhangs and chimney/mechanical pop-outs
12. Porches, patios and decks
13. Actual finish floor elevations, mean sea level NAVD88
14. Property corners and curb line elevations, mean sea level NAVD88
15. Proposed and existing contour lines
16. Drainage (swales, infiltration trenches, footing and roof drain, yard or perimeter drain line, areas of compost-amended soils, etc.)
17. Calculations for infiltration trenches, attach table
18. Indicate soil type (A, B, C or D)
19. Retaining walls with top and bottom wall elevations. (Retaining walls over 4' tall require separate building permit.)
20. Existing surface drainage flows through site
21. Proposed surface drainage
22. North arrow
23. Scale/dimensions
24. Wells and septic onsite and on adjacent properties
25. Trees – preserved and new (see handout)
26. Show locations on plans of critical areas (steep slopes, creeks, wetlands)
27. Show all erosion control items (construction entrance, erosion control fence, sediment pond, etc.)
28. Total hard surface greater than 2,000 sq. ft. and less than 5,000 sq. ft., submit Abbreviated Drainage Plan.
29. Total hard surface greater than 5,000 sq. ft., submit Drainage Control Plan.

The following documents meeting the Document Submission Standards (see handout for information) will need to be uploaded within two (2) business days of completing the online application. Failure to do so will result in cancellation of the permit application.

1. Plans
2. Abbreviated Drainage Plan
3. Environmental Review Checklist, if proposal is within critical areas.
4. Soil and Vegetation Report

MANUFACTURED HOME FOOTING DESIGN

FOOTING DESIGN:

Two exterior footings – 6" x 42" x length of home with three #4 rebar continuous.

One interior footing – 6" x 84" x length of home with five #4 rebar continuous. Minimum rebar clearance from the ground is 3" minimum clearance, from the forms is 1½ inches.

REQUIRED INSPECTIONS

NOTE: All permits, site plan, manufacturer's instructions and all other plans as required shall be on site and available at each inspection.

First Inspection:

1. Excavation for pit set foundation.
2. Footing forms with reinforcing installed but before concrete is poured
3. Setbacks to property lines

Second inspection:

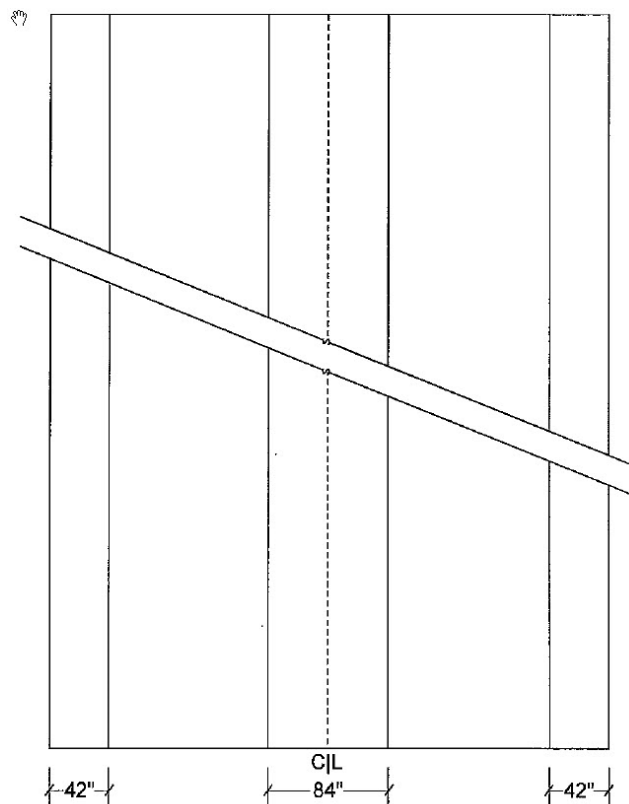
1. Foundation installation
2. Home set-up
3. Approved anchoring system installation
4. Six mil black vapor barrier installed on top of footings but under foundation
5. Water pipe connection with main shut-off valve installed and insulated
6. Sewer or septic hook-up

Third inspection:

1. Electrical inspection may be requested any time after home is set on foundation

Final inspection:

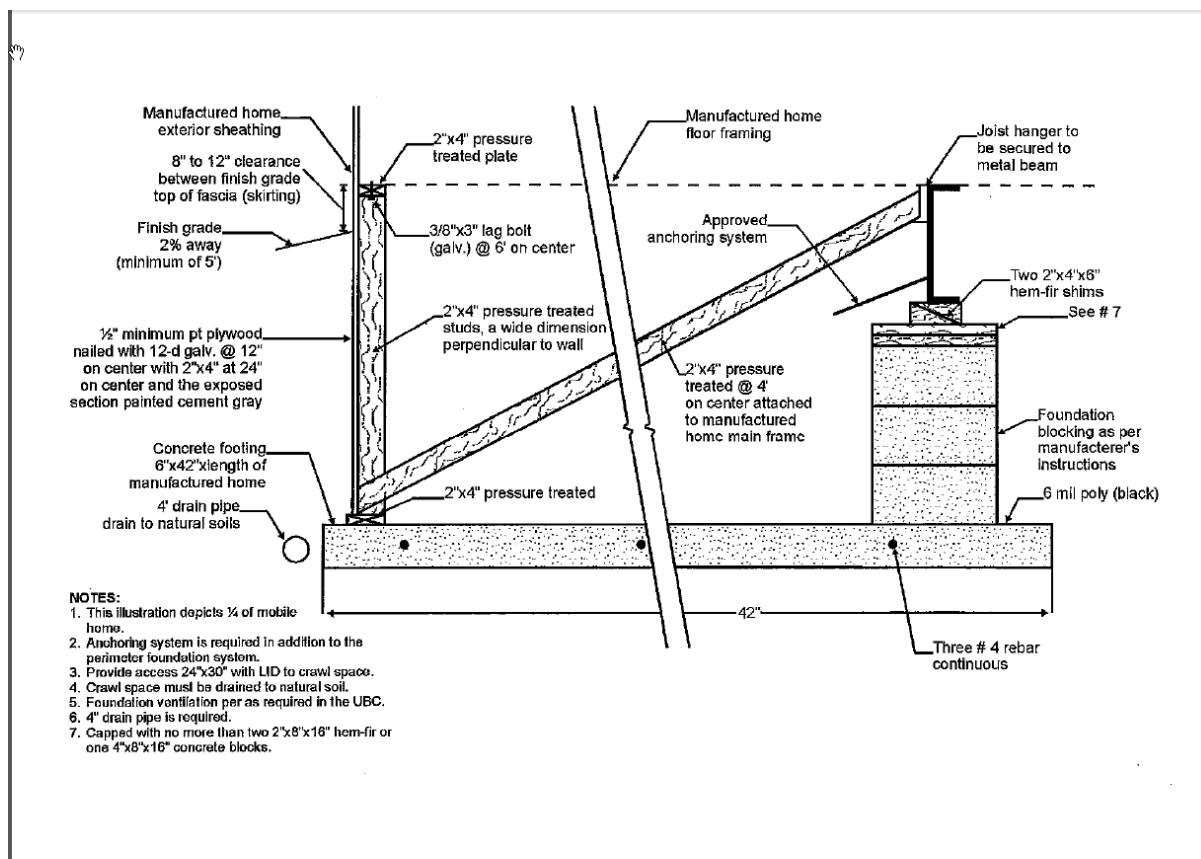
1. Perimeter fascia installation
2. Foundation vents and with a minimum access opening of 24" x 30"
3. Backfill and final grading sloped away from home perimeter for a minimum of five feet
4. Trees as required by the tree ordinance
5. Gutters with downspouts tight-lined to a drywell (minimum volume 160 cubic feet per 1,000 feet of roof area)
6. Hot water heater relief valve plumbed to outside
7. Dryer vent installation
8. Exterior hose bibs installed with anti-siphon device
9. Landings, porches and decks
10. Address posted in contrasting color and clearly visible from the street



MANUFACTURED HOME APPLICATION CHECKLIST

Staff	Applicant			
M/I	P	D	NA	
				Two sets of plans including the following:
				Site plan to scale indicating proposed home location, setbacks to property lines, existing buildings, etc.
				List make, model, manufacturer, size, etc.
				Floor plan with all rooms labeled
				Elevations or manufacturer's brochure showing front, back, roof design
				List colors of exterior siding, doors, trim and roofing
				Manufacturer's foundation installation instructions
				Approved anchoring system specification and installation instructions
				Footing plan and specifications if other than approved version illustrated on application
				Perimeter fascia plans and specification if other than approved version on application
LEGEND				
P = Provided with Initial Submittal; D* = Bidder Design – Deferred; NA = Not Applicable to Project Scope				
Staff: M = Missing; I = Incomplete				
Note: Decks 30" or more in height, covered porches, garages, accessory buildings, etc., shall be on separate application and permit.				

APPROVED FACIA (SKIRTING) DESIGN



NOTES:

1. This illustration depicts 1/4 of mobile home.
2. Anchoring system is required in addition to the perimeter foundation system.
3. Provide access 24"x30" with LID to crawl space.
4. Crawl space must be drained to natural soil.
5. Foundation ventilation per as required in the UBC.
6. 4" drain pipe is required.
7. Capped with no more than two 2"x8"x16" hem-fir or one 4"x8"x16" concrete blocks.

